



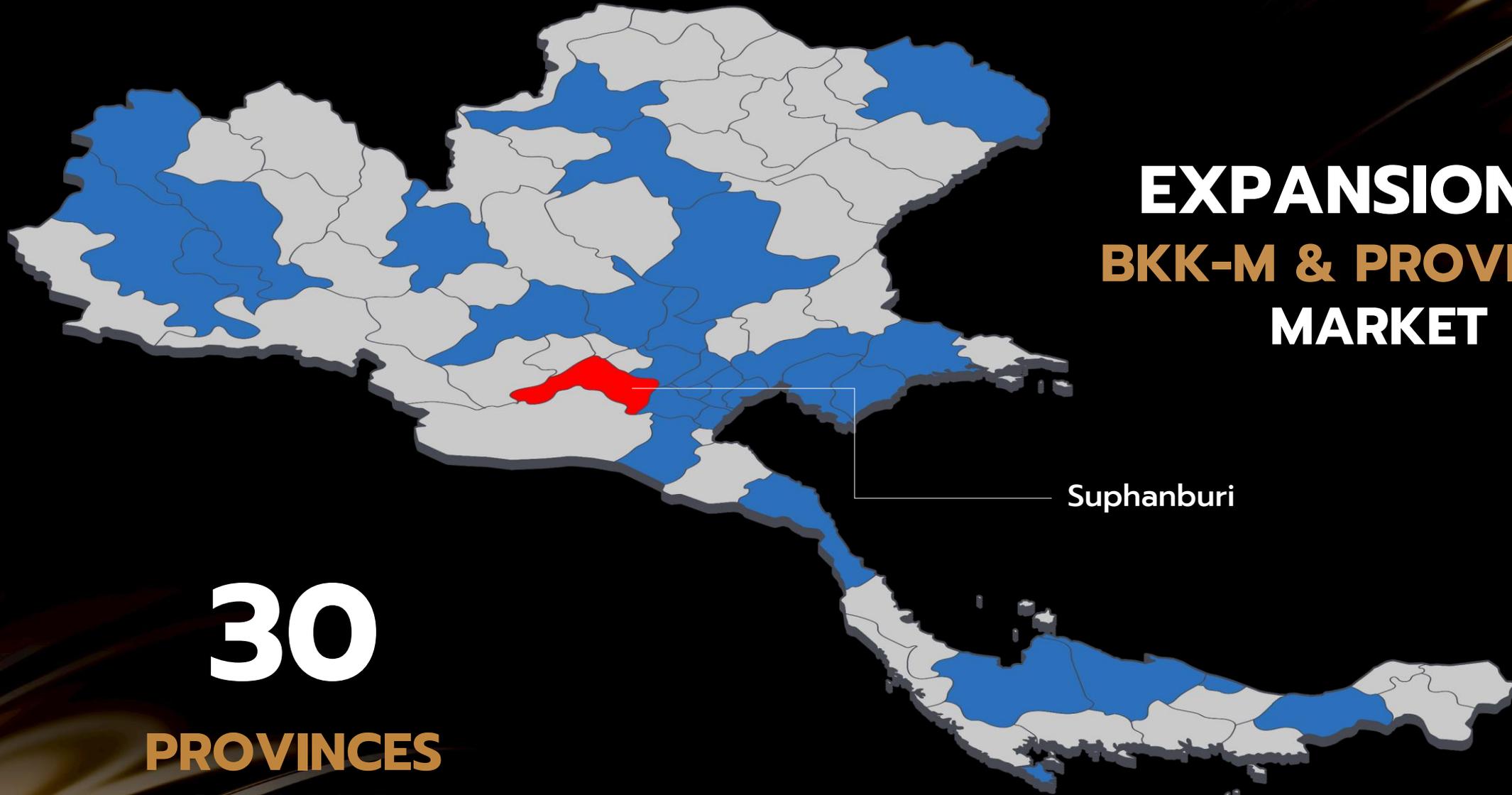
# SUPALAI

OPPORTUNITY DAY  
PRESENTATION

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27 FEBRUARY 2026

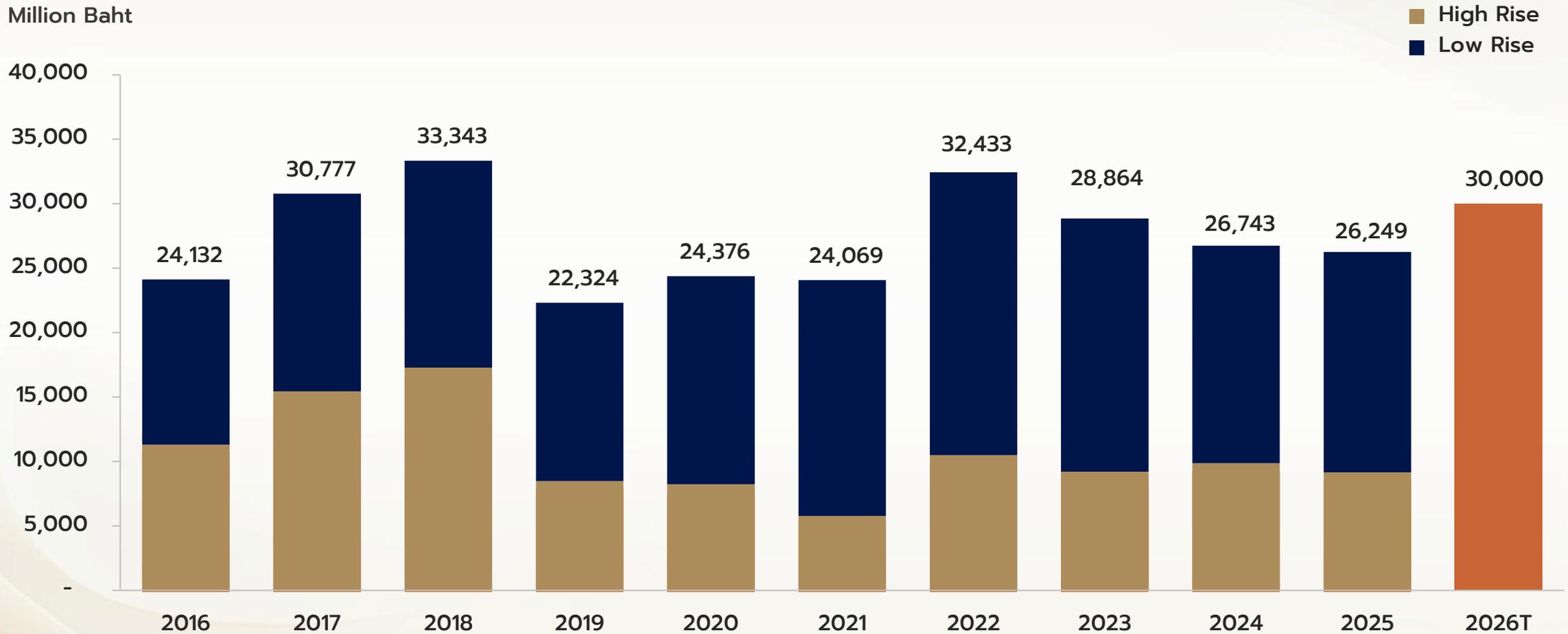
# EXPANSION IN BKK-M & PROVINCIAL MARKET



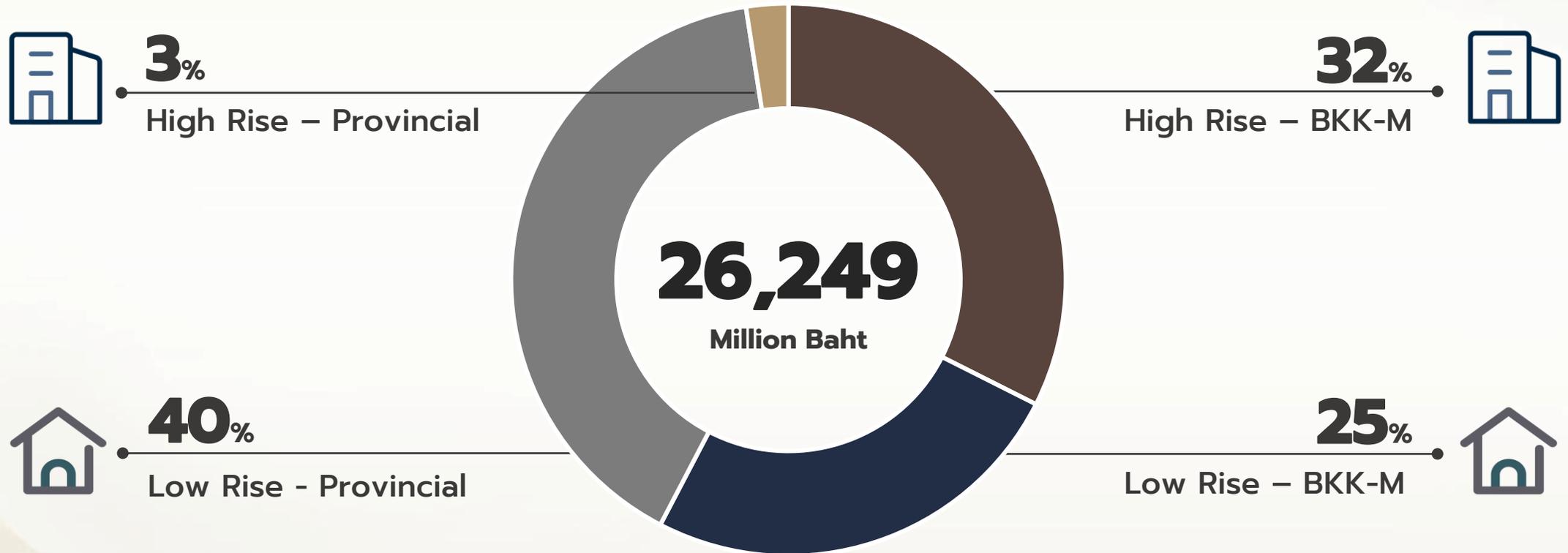
**30**  
**PROVINCES**  
**IN 2026**

Suphanburi

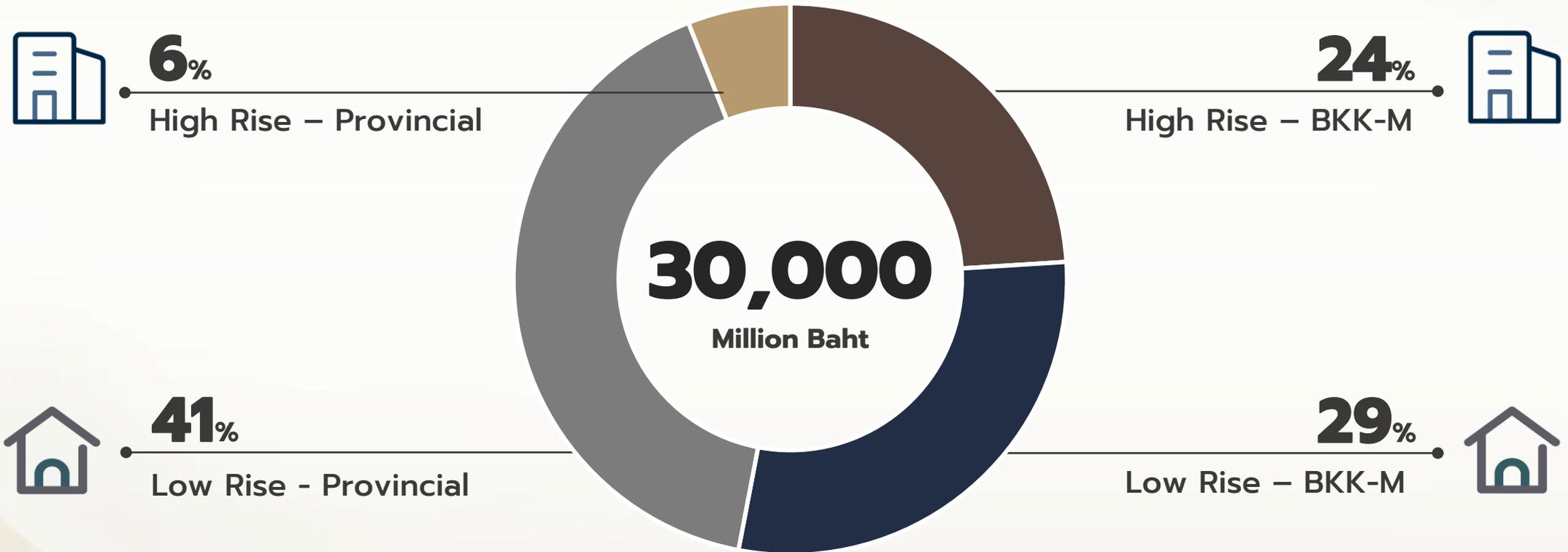
# PRE-SALES PERFORMANCE



# 2025 PRE-SALES BY GEOGRAPHY

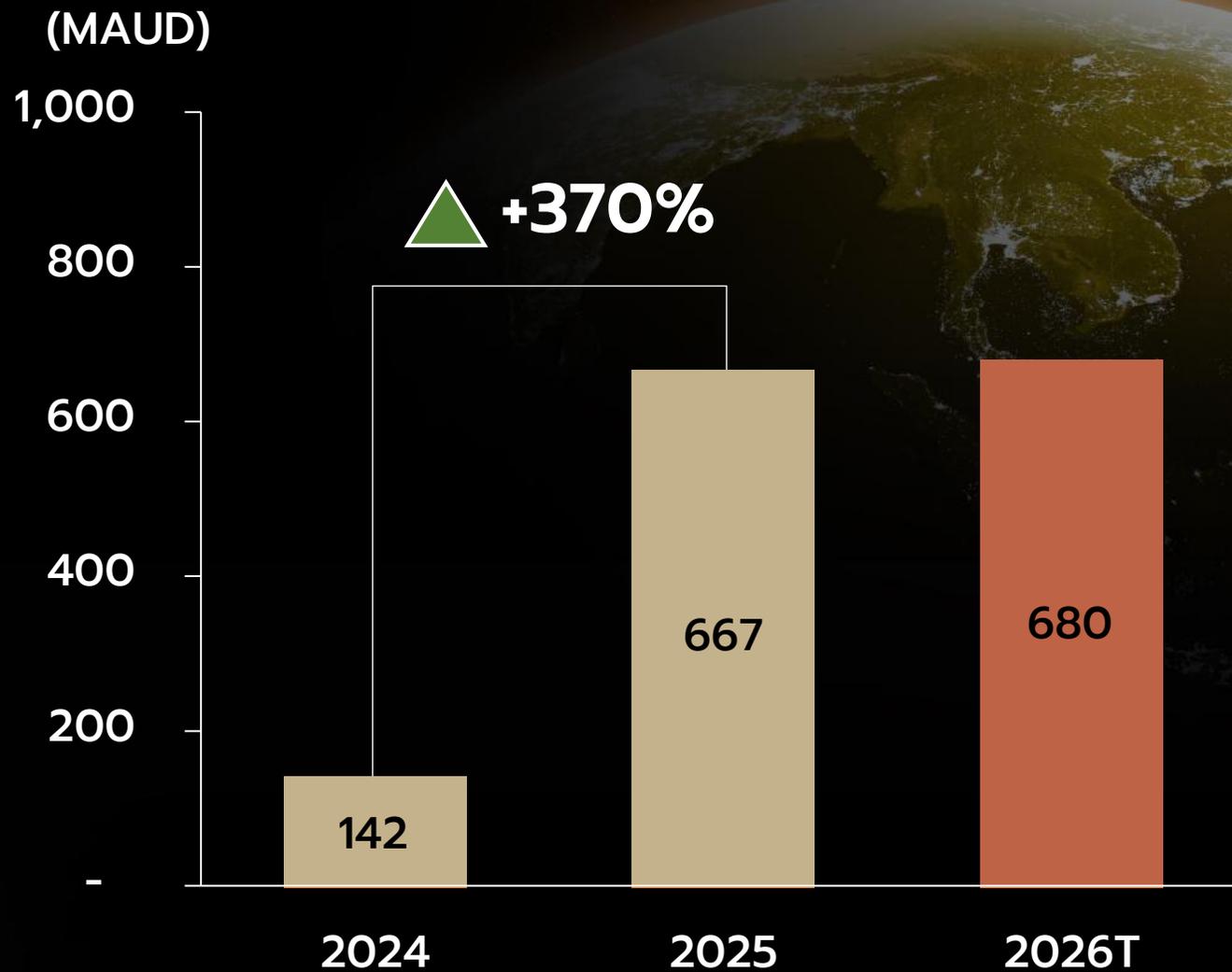


# 2026 PRE-SALES TARGET





# PRE-SALES PERFORMANCE AUSTRALIA (Supalai's Portion)



# 2026 AUSTRALIA PERFORMANCE

TARGET

PRE - SALES

**15,000** MB\*

REVENUE

**10,500** MB\*

**1** NEW PROJECT IN  
**MELBOURNE**

**25**  
PROJECTS

**4**  
STATES

**6**  
CITIES

PROJECT VALUE

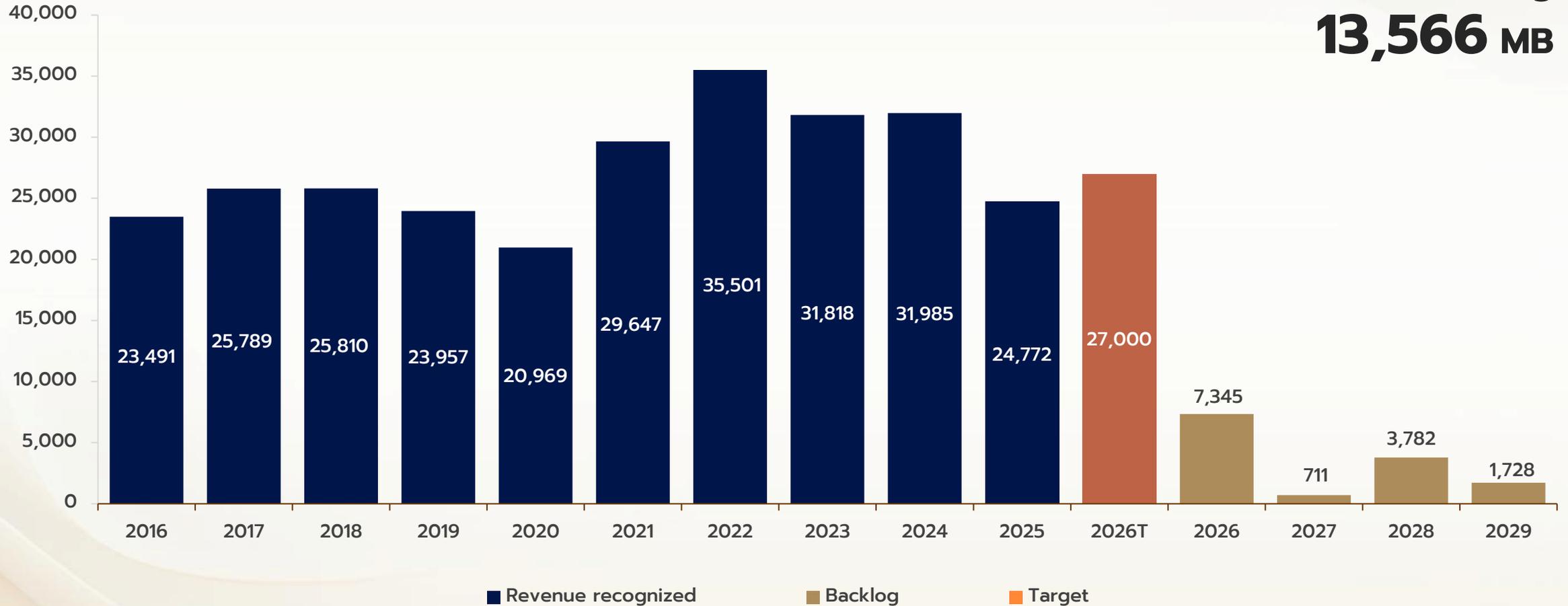
**176,500** MB

FIGURES SHOWN ABOVE ARE IN SUPALAI'S SHAREHOLDING PROPORTION

FIGURES ARE SHOWN IN THB-EQUIVALENT, SUBJECT TO EXCHANGE RATE, AND CALCULATED BASED ON SUPALAI'S SHAREHOLDING PROPORTION

# TOTAL REVENUES & BACKLOG (CONSOLIDATED)

Million Baht



# 2026 PROJECTS TRANSFER



SUPALAI

## SENSE

SRINAKARIN

**1,000** MB



SUPALAI

## PARC

EKKAMAI - PATTANAKARN

**4,600** MB



SUPALAI

## KRAM

KHAO TAO

**480** MB

# CONSOLIDATED INCOME STATEMENT

(Million Baht)	For Year Ended		Change	
	31 Dec 25	31 Dec 24	MB	%
Total Revenues	24,772	31,985	(7,213)	(23%)
Revenues from Sale on Real Estate	23,714	30,817	(7,103)	(23%)
Gross Margin (%)	34.4%	37.7%		
Selling and Administrative Expenses	3,804	4,302	(498)	(12%)
% S&A to Total Revenues	15.4%	13.4%		
Share of profit from investments in joint ventures and associates	730	394	336	86%
Finance Cost	725	709	16	2%
Earning before Tax	5,121	7,937	(2,816)	(35%)
% EBT to Total Revenues	20.7%	24.8%		
Corporate Tax	1,057	1,665	(608)	(37%)
% Effective Corporate Income Tax Rate	20.6%	21.0%		
Net Profit	4,015	6,190	(2,175)	(35%)
Net Profit Margin (%)	16.2%	21.0%		
Basic Earnings Per Share (Baht)	2.09	3.17	(1.08)	(34%)

# STATEMENT OF FINANCIAL POSITION (CONSOLIDATED)

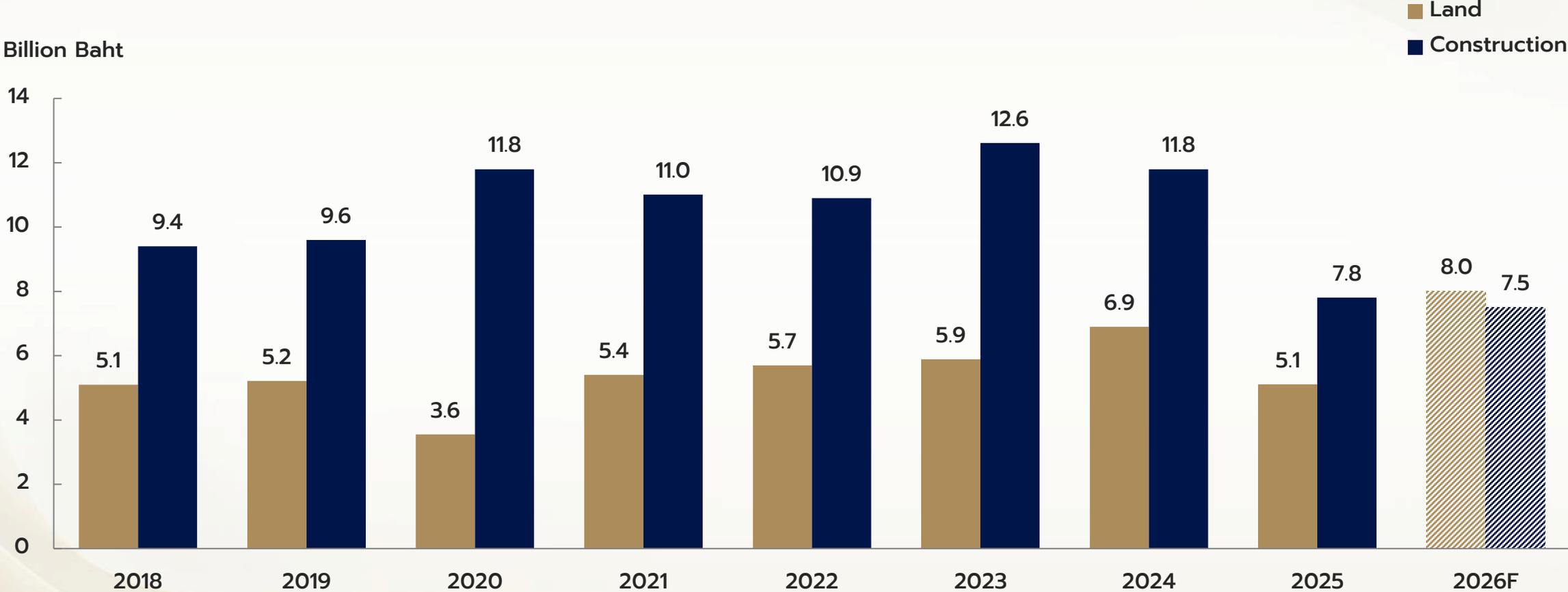
(Million Baht)	31 Dec 25	31 Dec 24	Change	
			MB	%
<b>Total Assets</b>	<b>99,285</b>	<b>96,231</b>	<b>3,054</b>	<b>3%</b>
Loan from Financial Institutions	37,988	34,187	3,801	11%
- <i>Project Loan</i>	9,961	11,914	(1,953)	(16%)
- <i>Debenture</i>	21,864	17,312	4,552	26%
- <i>Other</i>	6,163	4,961	1,202	24%
Deposits & Advances Received From Customers	885	930	(45)	(5%)
<b>Total Liabilities</b>	<b>44,499</b>	<b>42,011</b>	<b>2,488</b>	<b>6%</b>
<b>Total Shareholder's Equity</b>	<b>54,786</b>	<b>54,220</b>	<b>566</b>	<b>1%</b>
Issued and Paid-up Share Capital	1,953	1,953	-	0%

- Net Gearing of the company as of 31 Dec 25 was at **62%**
- Average Cost of Fund for the company as of 31 Dec 25 was **2.17%**

# DIVIDEND PAYMENT

Dividend Policy	To pay at least 35% of net profit
Operation Period	1 January 2025 – 31 December 2025
Dividend Per Share	1.25 Baht (Interim 0.55 Baht and Final 0.70 Baht)
Ex-dividend Date (XD)	6 <sup>th</sup> May 2026
Payment Date	19 <sup>th</sup> May 2026

# CAPITAL EXPENDITURE TREND



# 2026 NEW LAUNCH

**28**  
PROJECTS

TOTAL VALUE  
**35,000** MB

## LOW-RISE

**23**  
PROJECTS

TOTAL VALUE  
**27,000** MB

## HIGH-RISE

**5**  
PROJECTS

TOTAL VALUE  
**8,000** MB

# CARBON NEUTRALITY ROADMAP

## LONG-TERM APPROACH

- 1 GREEN OPERATIONS
- 2 GREEN PROCUREMENT
- 3 GREEN DEVELOPMENT STANDARDS
- 4 EXPANSION OF CLEAN ENERGY USE
- 5 GREEN SPACE & REFORESTATION

2030

▼ 40%

FROM BAU

Business as usual (BAU) = Normal Business Operations

2050

**CARBON  
NEUTRALITY**



GHGs Reduction | Scope 1 & 2